



*online*

## ORDINANCE NUMBER 2525

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, REPEALING ORDINANCE NO. 2504 AND AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED FOR A SPECIFIC USE PERMIT FOR A GASOLINE SERVICE STATION AND CAR WASH WITH SITE PLAN APPROVAL FOR DETAILING, A LUBE FACILITY WITH MINOR AUTOMOBILE REPAIR, A TIRE BALANCING AND ROTATION FACILITY, A CAFÉ, AND A RETAIL AREA IN THE SAME ESTABLISHMENT LOCATED AT 3690 BELTLINE ROAD, AT THE SOUTHWEST CORNER OF BELTLINE ROAD AND MARSH LANE AND WITHIN THE PLANNED DEVELOPMENT NUMBER 23 (PD-23) ZONING DISTRICT; PROVIDING FOR INJUNCTIVE RELIEF; PROVIDING FOR SEVERABILITY; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; AND PROVIDING AN EFFECTIVE DATE.

Whereas, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to amending the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that said change in zoning use should be made.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the zoning map of the City of Farmers Branch so as to grant a Specific Use Permit for a gasoline service station with a car wash, detailing (concentrated cleaning/waxing), a lube facility with minor automobile repair, a tire balancing and rotation facility, a café, and a retail area within Planned Development

No. 23 (PD-23) zoning district and specifically located on the 1.93 acre tract of land located at the southwest corner of Beltline Road and Marsh Lane and addressed as 3690 Beltline Road.

SECTION 2. That the gasoline service station, car wash, detailing area, lube facility with minor automobile repair, tire balancing and rotation facility, café, and retail area shall be constructed and specifically located in accordance with the approved site plan attached as Exhibit "A".

SECTION 3. That a maximum of 2.5 foot-candles of light shall be allowed at property boundary lines.

SECTION 4. That the proposed pylon signs shall have a white background.

SECTION 5. That the applicant shall construct all sidewalks indicated on the site plan before a final certificate of occupancy is issued for the property.

SECTION 6. That the kiosk buildings "to be constructed at a future date" on the car wash queuing-lane islands shall be constructed of the same materials, have the same architectural appearance, and be of the some colors as the CarSpa main building.

SECTION 7. That the gasoline canopy façade and support poles shall be solid white exclusive of permitted signage.

SECTION 8. That all operations are subject to the plan of operation, file-dated February 15, 2000.

SECTION 9. That all automobile repair and tire balancing and rotation operations shall be conducted inside the existing building.

SECTION 10. That paint and body repair work is prohibited.

SECTION 11. That any customer vehicle kept on-site during hours in which the facility is not open to the public shall be stored indoors.

SECTION 12. That outside storage of any equipment or junk, trash, and debris or other material shall be prohibited.

SECTION 13. That all parking and maneuvering surfaces shall be paved with concrete and striped in accordance with the City of Farmers Branch engineering standards, prior to the issuance of a Certificate of Occupancy.

SECTION 14. That Ordinance No. 2504 is hereby repealed.

SECTION 15. That the above described property shall be used only in the manner and for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch as herein amended and by the granting of a specific use permit for a gasoline service station and car wash.



SECTION 16. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense.

SECTION 17. If any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

SECTION 18. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 19. This ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such case provides.

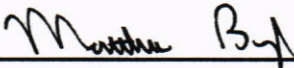
DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, on this the 3<sup>rd</sup> day of April, 2000.

APPROVED:



Mayor

APPROVED AS TO FORM:



City Attorney

ATTEST:



City Secretary

1	2	3	4	5	6	7
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**BELTLINE R**  
VARIABLE WIDTH R

OFFICE/RETAIL  
SF=34,720  
1 SPACE/200 SF = 174  
PARKING PROV. = 177

BLOCK A  
TEXAS COMMERCE BANK ADDITION  
VOL. 95174, PAGE 4268

**CAR**  
1120

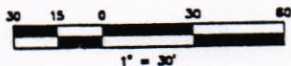
for 2

Exhibit "A"  
Page 1 of 25

R = 225.00'  
D = 51°38'33"  
T = 108.87'  
L = 202.80'  
CH = 196.00'  
CB = N64°10'43"E

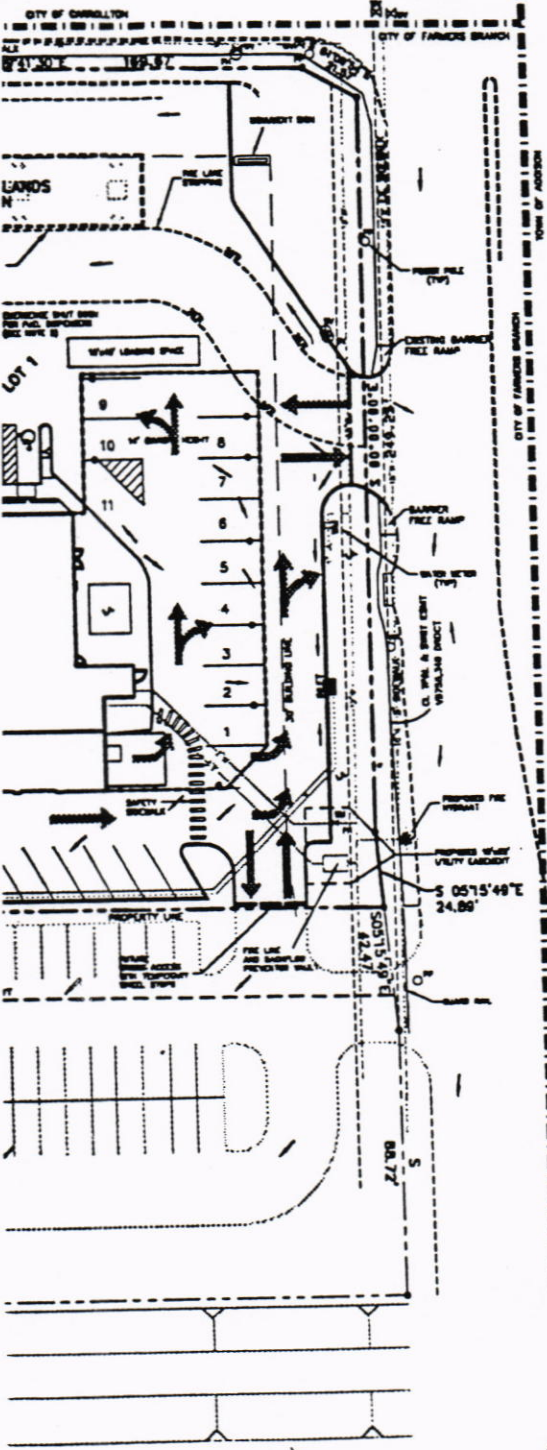
(3D)





**NOTE:**

1. ALL METERS MUST HAVE REMOTE READING CAPABILITY. (DIALOG, AUTOMATED METER READING SYSTEM, MODEL SPM, SINGLE PIT MODULE OR EQUIVALENT, AS APPROVED BY CITY OF FARMERS BRANCH UTILITY DEPARTMENT.
2. VERIFY THAT WATER LINE ALONG MARSH LANE IS A 12" CITY OF FARMERS BRANCH LINE AND NOT THE 18" CITY OF DALLAS SUPPLY LINE.
3. UNDERGROUND STORAGE TANK SYSTEM (FILL PORTS, VENT LINES, PIPING, ETC.) AFFECTED BY SITE GRADING (DEMOLITION AND REPLACEMENT OF PAVING AND/OR CURBING) TO BE RESTORED TO PRE-GRADING CONDITION.



**MARSH LANE**  
VARIABLE WIDTH R.O.W.

**LEGEND**

- EXISTING POWER POLE
- DRAINAGE FLOW ARROW
- TRAFFIC FLOW ARROW
- WATER METER
- FIRE HYDRANT EXISTING
- FIRE HYDRANT PROPOSED
- CITY LIMIT LINE
- PROP. PROPERTY LINE
- PROPERTY LINE TO BE REMOVED
- BUILDING LINE

LAYOUT # 3  
DATE 5-24-99

**REVISION INFORMATION**

DATE	DESCRIPTION

**ISSUE INFORMATION**


THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF CAR SPA, INC. IS STRICTLY PROHIBITED.

**INTERPLAN**  
PRACTICE

Interplan Practice, Inc.  
10000 North Loop East  
Suite 100  
Houston, Texas 77058  
Tel: (281) 415-1000  
Fax: (281) 415-1001

Owner Info & Job Address

**CAR SPA**  
BELT LINE ROAD/MARSH LANE  
FARMER'S BRANCH, TEXAS



CAR SPA INC  
515 EAST LAS OLAS BOULEVARD, SUITE 1100  
FORT LAUDERDALE, FL 33301  
TEL: (954) 524-1910, FAX: (954) 524-1988

**PD-25 CONCEPT PLAN**

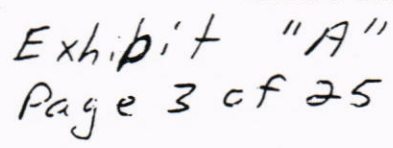
Date	8/17/99
Drawn By	LOP
Checked By	PSP, P.E.

C-2

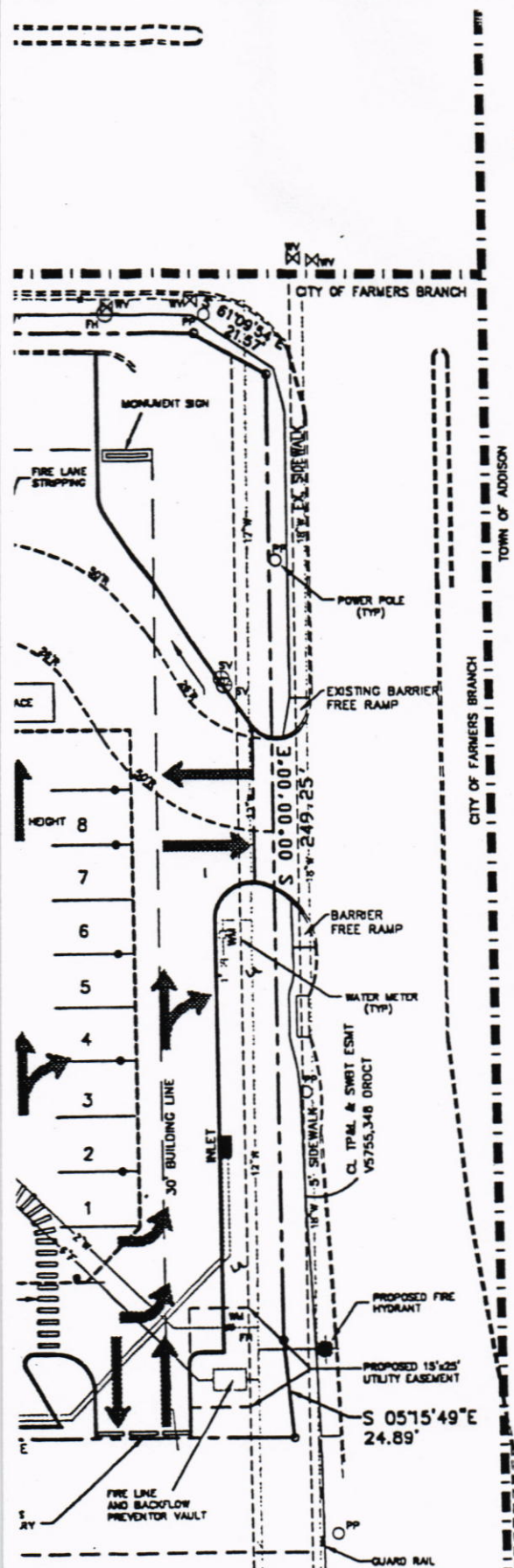
3E

**CONCEPT PLAN**  
**NOT FOR CONSTRUCTION**  
Exhibit "A"  
Page 2 of 25

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**MARSH LANE**  
VARIABLE WIDTH R.O.W.



# KEYING LEGEND & GENERAL NOTES

## PROJECT INFORMATION

NAME OF PROJECT: CAR SPA  
BELT LINE RD./MARSH LN.  
FARMERS BRANCH, TX

PROPOSED USE OF BLDG: CAR WASH, DETAILING BAYS,  
GASOLINE SERVICE, OIL & LUBE,  
CAFE, RETAIL.

ZONING DISTRICT: PLANNED DEVELOPMENT, DISTRICT No. 23  
LIGHT INDUSTRIAL ZONING DISTRICT

PERCENT OF USE OF BLDG: GAS SERVICE (INCLUDED W/RETAIL)  
CAFE 438 SF. 3%  
RETAIL/RESTROOMS 3242 SF. 25%  
WAITING AREA 918 SF. 7%  
NON-CUSTOMER AREAS 8609 SF. 65%  
(CAR WASH, OIL & LUBE, DETAIL)  
TOTAL 13,208 SF.

TOTAL SITE ACREAGE: 1.930AC. 84,058sf

AREA OF BLDG DEVELOPMENT: 13,208sf

BLDG SITE COVERAGE: 13,208sf/84,058sf = 15.7%

FLOOR AREA RATIO: 1:0.157

CANOPY AREA: 8,294sf

CANOPY AREA SITE COVERAGE: 8,294/84,058 = 9.87%

LANDSCAPING AREA: 9,181sf, 10.8%

REQUIRED PARKING: GAS SERVICE, 8 SPACES MIN. (NOT ADDED BELOW)  
CAFE, 8 SPACES (24 SEATS + 3)  
RETAIL, 18 SPACES (3242 SF. (RESTROOMS +  
RETAIL) + 200 SF.)  
WAITING AREA (INCLUDED W/CAFE)  
NON-CUSTOMER AREA, 9 SPACES  
(8609 SF. + 1000, INCLUDES CAR WASH, OIL &  
LUBE, DETAIL BAYS)  
TOTAL 33 SPACES

PARKING PROVIDED: STANDARD (INCLUDING POST WASH) 30  
HANDICAP SPACES 3  
TOTAL 33

LOADING SPACE: ONE 10'x45' LOADING SPACE

- NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. BUILDING AND PARKING ARE ORTHOGONAL TO EAST AND WEST PROPERTY LINES: N 00°00'00" E
  3. NO VEHICLES WILL BE STORED AFTER HOURS ON PREMISES OUTSIDE OF BUILDING.
  4. BUILDING TO BE FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13.
  5. EMERGENCY SHUT DOWN FOR FUEL DISPENSER WITHIN LANDSCAPED ISLAND IN ADDITION TO EMERGENCY SHUT DOWN BEHIND RETAIL COUNTER.
  6. ALL METERS MUST HAVE REMOTE READING CAPABILITY. (DIALOG, AUTOMATED METER READING SYSTEM, MOUL SPM, SINGLE PIT MODULE OR EQUIVALENT, AS APPROVED BY CITY OF FARMERS BRANCH UTILITY DEPARTMENT.
  7. VERIFY THAT WATER LINE ALONG MARSH LANE IS A 12" CITY OF FARMERS BRANCH LINE AND NOT THE 18" CITY OF DALLAS SUPPLY LINE.
  8. UNDERGROUND STORAGE TANK SYSTEM (FILL PORTS, VENT LINES, PIPING, ETC.) AFFECTED BY SITE GRADING (DEMOLITION AND REPLACEMENT OF PAVING AND/OR CURBING) TO BE RESTORED TO PRE-GRADING CONDITION.

LAYOUT # 3  
DATE 5-24-99

REVISION INFORMATION	
DATE	DESCRIPTION

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF CAR SPA, INC. IS STRICTLY PROHIBITED.	
<b>INTERPLAN PRACTICE</b>	Interplan Practice Inc. 1000 West 10th Street Suite 100 Fort Lauderdale, FL 33301 Tel. (954) 524-1910, FAX (954) 524-1986

OFFICE: 515 E. LAS OLAS BOULEVARD, SUITE 1100 FORT LAUDERDALE, FL 33301 TEL. (954) 524-1910, FAX (954) 524-1986	
<b>CAR SPA</b> BELT LINE ROAD/MARSH LANE FARMER'S BRANCH, TEXAS	

SITE PLAN		
Scale	8/17/99	Job Number: 992
Drawn By: [Signature]	1" = 80'-0"	
Check By: [Signature]		

This document is incomplete and is released for the purpose of interim review only under the authority of Charles Craig Bond, P.E. 64804 on 8/17/99. It is not to be used for construction, bidding, or permit purposes.

Exhibit "A"  
Page 4 of 25

C-3

3G



- LEGEND
- G.C. UG GAS TANK CAP
  - SGN
  - BOLLARD
  - P POST
  - MANHOLE
  - RF IRON ROD FOUND
  - CO SAN SEWER CLEANOUT
  - POWER POLE
  - WM WATER METER
  - IRRIGATION VALVE
  - LIGHT STANDARD
  - FH FIRE HYDRANT
  - CM GAS METER
  - M WATER VALVE
  - O.K. OVERHEAD WIRES
  - UG UG TELEPHONE
  - WATER LINE
  - SS SANITARY SEWER
  - GAS LINE
  - GUARD RAIL



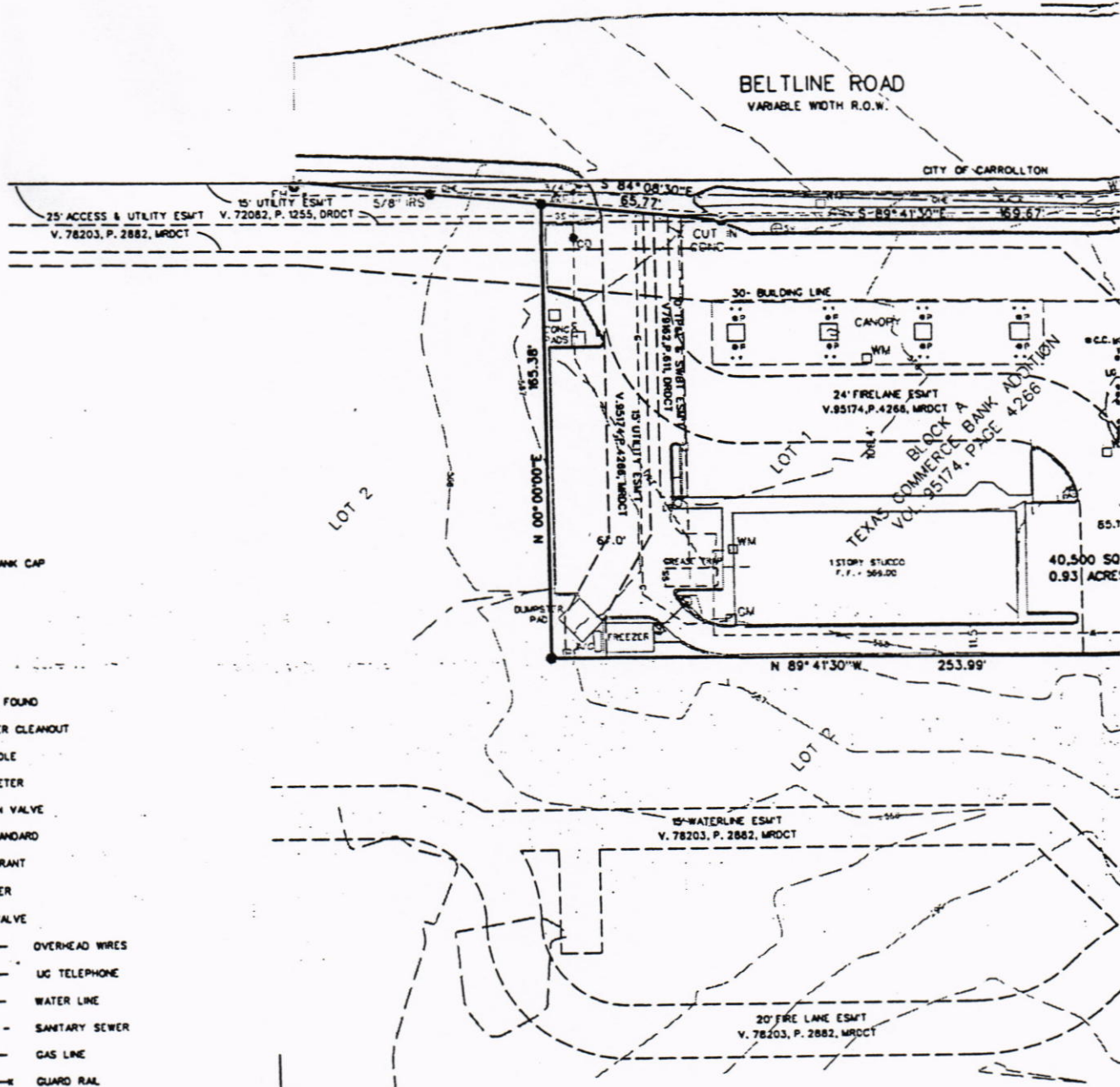
0 30 60 90  
GRAPHIC SCALE EQUALS 1 INCH TO 30 FEET

Exhibit "A"  
Page 5 of 25

**TRANSYSTEMS**  
CORPORATION  
CONSULTANTS

JOB No. 19900825  
24 JUNE 1999

800 W. 7th ST., SUITE 600  
FORT WORTH, TEXAS 76102  
(817) 336-8850  
FAX (817) 336-2247



#### GENERAL NOTES

1. THE SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY.
2. THE DEVELOPERS CONTRACT AS RECORDED IN VOLUME 78203, PAGE 2870, DRDCT AND A PARTIAL DEVELOPERS CONTRACT AS RECORDED IN VOLUME 91141, PAGE 3438, DRDCT AFFECTS THE SUBJECT PROPERTY.
3. THE HOLD HARMLESS AGREEMENT AS RECORDED IN VOLUME 78203, PAGE 2876, DRDCT AFFECTS THE PROPERTY.
4. THE 30 FOOT BUILDING LINE ALONG THE NORTH AND EAST PROPERTY LINES, THE 20' FIRE LINE EASEMENT, VARIABLE WIDTH ACCESS AND UTILITY EASEMENTS AND A PORTION OF A 15 FOOT UTILITY EASEMENT SHOWN ON THE PLAT OF TEXAS COMMERCE BANK ADDITION AS RECORDED IN VOLUME 95174, PAGE 4, AFFECT THE SUBJECT PROPERTY.
5. THE 10 FOOT TEXAS POWER AND LIGHT AND SOUTHWESTERN BELL TELEPHONE COMPANY AS RECORDED IN VOLUME 79162, PAGE 611 AFFECTS THE SUBJECT PROPERTY.
6. THE DECLARATIONS AS RECORDED IN VOLUME 91121, PAGE 1822, DRDCT AND REFILED IN VOLUME 9112 DRDCT AFFECTS THE SUBJECT PROPERTY.
7. THE DECLARATION OF COVENANTS AS RECORDED IN VOLUME 95171, PAGE 1273, DRDCT AFFECTS THE PROPERTY.
8. THE 15 FOOT UTILITY EASEMENT ALONG THE NORTH AND EAST PROPERTY LINES AS RECORDED IN PAGE 1255, AFFECTS THE SUBJECT PROPERTY.
9. THE TEXAS POWER AND LIGHT AND SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT AS RECORDED IN VOLUME 5755, PAGE 348, DRDCT DOES NOT AFFECT THE SUBJECT PROPERTY.
10. THE RESTRICTIVE COVENANTS AS RECORDED IN VOLUME 91121, PAGE 1822, VOLUME 91135, PAGE 34 91141, PAGE 3441, AND VOLUME 95171, PAGE 1268, ALL OF DRDCT AFFECT THE SUBJECT PROPERTY.
11. THE WESTERLY PORTION OF THE 15' DRAINAGE AND UTILITY EASEMENT AS RECORDED 2250, DRDCT AFFECTS THE SUBJECT PROPERTY.
12. THE BASIS OF BEARING FOR THIS MAP IS THE EAST LINE OF LOT 1.

3H



# PROPERTY DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE W.W. COOK SURVEY, ABSTRACT NUMBER 278, CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS, ALSO BEING ALL OF LOT 1, BLOCK A, TEXAS COMMERCE BANK ADDITION, AN ADDITION TO THE SAID CITY OF FARMERS BRANCH, AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY NORTHEAST CORNER OF SAID LOT 1, A 3/4 INCH IRON ROD FOUND IN THE WEST RIGHT-OF-WAY LINE OF MARSH LANE, A VARIABLE WIDTH RIGHT-OF-WAY:

THENCE S 00°00'00"E, ALONG THE SAID WEST RIGHT-OF-WAY LINE OF MARSH LANE, 148.72 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1 A 5/8 INCH IRON ROD WITH CAP TRANSYSTEMS SET:

THENCE N 89°47'30"W, ALONG THE SOUTH LINE OF SAID LOT 1, 253.99 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED TRANSYSTEMS SET:

THENCE N 00°00'00"E, ALONG THE WEST LINE OF SAID LOT 1, 165.38 FEET TO A 3/4 INCH IRON ROD FOUND IN THE SOUTH RIGHT-OF-WAY LINE OF BELT LINE ROAD, A VARIABLE WIDTH RIGHT-OF-WAY:

THENCE S 84°08'30"E, ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF BELT LINE ROAD, 105.98 FEET TO AN X CUT IN CONCRETE SET:

THENCE S 89°47'30"E, 169.87 FEET TO A POINT FROM WHICH A 3/4 INCH IRON ROD BEARS N 85°09'29"E, 0.66 FEET:

THENCE S 61°09'54"E, ALONG THE CORNER CLIP BETWEEN SAID BELT LINE ROAD AND MARSH LANE, 21.57 FEET TO THE POINT OF BEGINNING AND CONTAINING 40,500 SQUARE FEET OR 0.93 OF AN ACRE OF LAND.

## SURVEYOR'S CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED LAND SURVEYOR OF THE STATE OF TEXAS, DULY LICENSED IN SUCH STATE, CERTIFIES TO: (1) CAR SPA, INC., A FLORIDA CORPORATION, AND ITS AFFILIATES, (2) LAWYERS TITLE INSURANCE CORPORATION, (3) SAM'S MARKET INC.

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH AND MEETS THE REQUIREMENTS OF THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND THE AMERICAN CONGRESS ON SURVEYING AND MAPPING IN 1997 AND MEETS THE ACCURACY REQUIREMENTS FOR A CLASS SURVEY, AS DEFINED THEREIN, INCLUDING ITEMS 1, 2, 3, 4, 6, 7(A), 8, 9, 10 AND 11 FROM TABLE A OF THE REQUIREMENTS.

2. THE SURVEY WAS MADE ON THE GROUND ON MAY 24, 1999 BY ME OR UNDER MY SUPERVISION AND CORRECTLY SHOWS THE METES AND BOUNDS OR OTHER DESCRIPTION AND THE LAND AREA OF THE SUBJECT PROPERTY (THE "PROPERTY"), THE LOCATION, SIZE AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER SUBSTANTIAL VISIBLE IMPROVEMENTS (INCLUDING PARKING AREAS) SITUATED ON THE PROPERTY, INCLUDING ALL SETBACK LINES.

3. EXCEPT AS SHOWN ON THE SURVEY, THE BUILDINGS, STRUCTURES AND IMPROVEMENTS SHOWN CONSTITUTE ALL OF THE SUBSTANTIAL VISIBLE IMPROVEMENTS ON THE PROPERTY. ALL ARE WITHIN THE BOUNDARY LINES OF THE PROPERTY, AND ALL SUCH IMPROVEMENTS ARE SET BACK FROM THE PROPERTY AND SETBACK LINES THE DISTANCES INDICATED.

4. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO EASEMENTS OF RIGHTS-OF-WAY OBSERVABLE ON THE GROUND OR OF WHICH THE UNDERSIGNED HAS BEEN ADVISED.

5. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO OBSERVABLE ABOVE GROUND ENCROACHMENTS: (1) BY THE IMPROVEMENTS ON THE PROPERTY UPON ADJOINING PROPERTIES, STREETS, ALLEYS, EASEMENTS OR RIGHTS-OF-WAY, OR (2) BY THE IMPROVEMENTS ON ANY ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE PROPERTY.

6. THE LOCATION OF EACH EASEMENT, RIGHT-OF-WAY AND OTHER MATTER (ABOVE OR BELOW GROUND) AFFECTING THE PROPERTY AND LISTED IN THE COMMITMENT FOR OWNER'S POLICY OF TITLE INSURANCE G.F. NUMBER LTIC:TEX 99 04 760, DATED APRIL 19, 1999, ISSUED BY LAWYERS TITLE INSURANCE COMPANY WITH RESPECT TO THE PROPERTY (THE "COMMITMENT"), HAS BEEN SHOWN ON THE SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES TO THE EXTENT THAT SUCH MATTERS CAN BE LOCATED.

7. THE PROPERTY ADJUTS A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY, AS SHOWN HEREIN.

8. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480174 0005 C, WITH A DATE OF IDENTIFICATION OF AUGUST 2, 1990, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED.

9. THE PROPERTY IS THE SAME PROPERTY DESCRIBED AS TRACT IN THE COMMITMENT.

10. THE PARKING SPACES ARE NOT STRIPED ON THE PROPERTY.

11. ONLY THE PARTIES ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.

DAVID L. DAWSON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4672  
DATED: 6-24-99

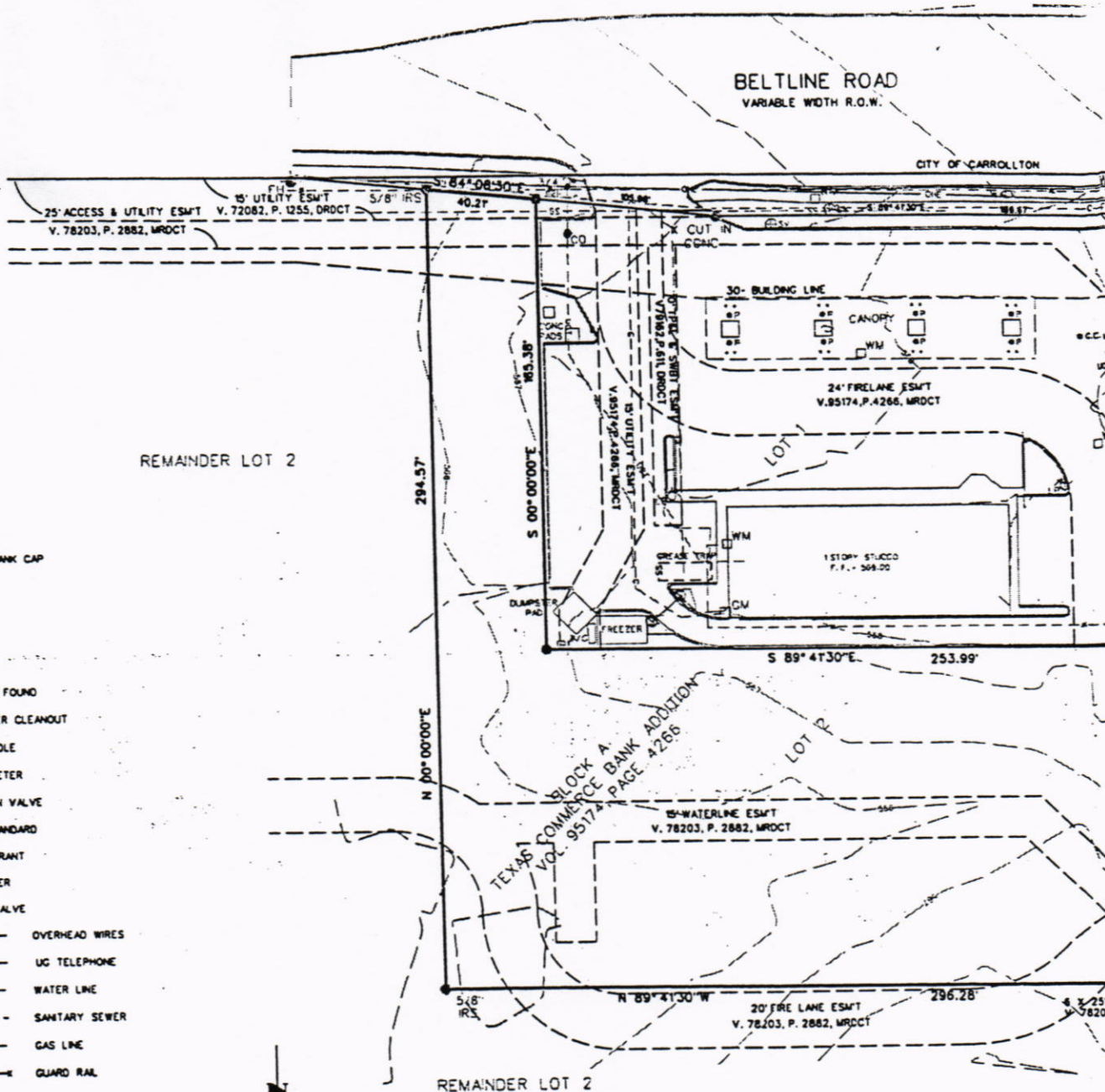
Exhibit "A"  
Page 6 of 25

AN ALTA/ACSM LAND TITLE SURVEY OF  
LOT 1, BLOCK A, TEXAS  
COMMERCE BANK ADDITION

AN ADDITION TO THE CITY OF FARMERS BRANCH, DALLAS COUNTY  
AS RECORDED IN VOLUME 85174, PAGE 4266, MAP RECORDS, DALLAS  
SITUATED IN THE W.W. COOK SURVEY ABSTRACT NUMBER

31





# LEGEND

- G.C. UG GAS TANK CAP
- SIGN
- BOLLARD
- POST
- MANHOLE
- IRF IRON ROD FOUND
- CO SAN SEWER CLEANOUT
- POWER POLE
- WM WATER METER
- PV IRRIGATION VALVE
- LIGHT STANDARD
- FH FIRE HYDRANT
- GM GAS METER
- M WATER VALVE

- ONE — OVERHEAD WIRES
- UG — UG TELEPHONE
- WATER LINE
- SS — SANITARY SEWER
- GAS LINE
- GUARD RAIL



0 30 60 90  
GRAPHIC SCALE EQUALS 1 INCH TO 30 FEET

Exhibit "A"  
Page 7 of 25

## GENERAL NOTES

1. THE SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY.
2. THE DEVELOPER'S CONTRACT AS RECORDED IN VOLUME 78203, PAGE 2870, DRDCT AND A PARTIAL RE DEVELOPER'S CONTRACT AS RECORDED IN VOLUME 91141, PAGE 3438, DRDCT AFFECTS THE SUBJECT PR
3. THE HOLD HARMLESS AGREEMENT AS RECORDED IN VOLUME 78203, PAGE 2876, DRDCT AFFECTS THE PROPERTY.
4. THE 30 FOOT BUILDING LINE ALONG THE NORTH AND EAST PROPERTY LINES AS SHOWN ON THE PL/ COMMERCE BANK ADDITION AS RECORDED IN VOLUME 95174, PAGE 4266, WRDCT AFFECTS THE SUBJECT
5. THE 10 FOOT TEXAS POWER AND LIGHT AND SOUTHWESTERN BELL TELEPHONE COMPANY AS RECOR VOLUME 79182, PAGE 811 DOES NOT AFFECT THE SUBJECT PROPERTY.
6. THE DECLARATIONS AS RECORDED IN VOLUME 91121, PAGE 1822, DRDCT AND REFILED IN VOLUME 91135, DRDCT AFFECTS THE SUBJECT PROPERTY.
7. THE MUTUAL ACCESS EASEMENT AS RECORDED IN VOLUME 95171, PAGE 1273, DRDCT AFFECTS THE SI PROPERTY.
8. THE 15 FOOT UTILITY EASEMENT ALONG THE NORTH AND EAST PROPERTY LINES AS RECORDED IN V PAGE 1255, AFFECTS THE SUBJECT PROPERTY.
9. THE TEXAS POWER AND LIGHT AND SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT AS RECO VOLUME 5755, PAGE 348, DRDCT DOES NOT AFFECT THE SUBJECT PROPERTY.
10. THE RESTRICTIVE COVENANTS AS RECORDED IN VOLUME 91121, PAGE 1822, VOLUME 91135, PAGE 3405 91141, PAGE 3441, AND VOLUME 95171, PAGE 1268, ALL OF DRDCT AFFECT THE SUBJECT PROPERTY.
11. THE WESTERLY PORTION OF THE 15' DRAINAGE AND UTILITY EASEMENT AS RECORDED IN VOLUME 720 2250, DRDCT AFFECTS THE SUBJECT PROPERTY.
12. THE 15' EASEMENT ALONG THE SOUTH LINE OF LOT 2 DOES NOT AFFECT THE SUBJECT PROPERTY.
13. THE 20' EASEMENT, 15' UTILITY EASEMENT, 15' WATERLINE EASEMENT, 6' X 25' WAT EASEMENT, 20' FIRE LANE, AND THE 20' FIRE LANE AND UTILITY EASEMENT AS RECORDED IN VOLUME 7 2882, DRDCT AFFECT THE SUBJECT PROPERTY.
14. THE EAST 7.5' OF A 15' DRAINAGE EASEMENT AS RECORDED IN VOLUME 78203, PAGE 2882, DRDCT DO AFFECT THE SUBJECT PROPERTY.
15. THE RIGHT-OF-WAY EASEMENT TO THE CITY OF ADDITION AS RECORDED IN VOLUME 94059, PAGE 3 DOES NOT AFFECT THE SUBJECT PROPERTY.
16. THE EASEMENT FOR INGRESS AND EGRESS AS RECORDED IN VOLUME 73207, PAGE 1571, DOES NOT / SUBJECT PROPERTY.
17. THE SANITARY SEWER EASEMENT AS RECORDED IN VOLUME 72139, PAGE 2099, DRDCT DOES NOT AFFECT THE SUBJECT PROPERTY.
18. THE BASIS OF BEARING FOR THIS MAP IS THE EAST LINE OF LOT 1.



# PROPERTY DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE W.W. COOK SURVEY, ABSTRACT NUMBER 278, CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS, ALSO BEING A PORTION OF LOT 2, BLOCK A, TEXAS COMMERCE BANK ADDITION, AN ADDITION TO THE SAID CITY OF FARMERS BRANCH, AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1, BLOCK A, SAID TEXAS COMMERCE BANK ADDITION, A 5/8 INCH IRON ROD WITH CAP STAMPED TRANSYSTEMS SET IN THE WEST RIGHT-OF-WAY LINE OF MARSH LANE, A VARIABLE WIDTH RIGHT-OF-WAY:

THENCE S 00°00'00"E, ALONG THE SAID WEST RIGHT-OF-WAY LINE OF MARSH LANE, 100.53 FEET TO A 3/4 INCH IRON ROD FOUND;

THENCE S 05°15'49"E, 24.89 FEET TO A 5/8 INCH IRON ROD SET WITH CAP STAMPED 'TRANSYSTEMS' SET;

THENCE N 89°47'30"W, 296.28 FEET TO A 5/8 INCH IRON ROD SET WITH CAP STAMPED TRANSYSTEMS;

THENCE N 00°00'00"E, 294.57 FEET TO A 5/8 INCH IRON ROD SET WITH CAP STAMPED TRANSYSTEMS IN THE SOUTH RIGHT-OF-WAY LINE OF BELT LINE ROAD, A VARIABLE WIDTH RIGHT-OF-WAY;

THENCE S 84°08'30"E, ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF BELT LINE ROAD, 40.21 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, A 3/4 INCH IRON ROD FOUND;

THENCE S 00°00'00"E, ALONG THE WEST LINE OF SAID LOT 1, 165.38 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, A 5/8 INCH IRON ROD WITH CAP STAMPED TRANSYSTEMS SET;

THENCE S 89°47'30"E, ALONG THE SOUTH LINE OF SAID LOT 1, 253.99 FEET TO THE POINT OF BEGINNING AND CONTAINING 43,599 SQUARE FEET OR 1.00 ACRES OF LAND.

## SURVEYOR'S CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED LAND SURVEYOR OF THE STATE OF TEXAS, DULY LICENSED IN SUCH STATE, CERTIFIES TO: (1) CAR SPA, INC., A FLORIDA CORPORATION, AND ITS AFFILIATES, (2) COMMONWEALTH LAND TITLE INSURANCE COMPANY, (3) CHASE BANK OF TEXAS.

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH AND MEETS THE REQUIREMENTS OF THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND THE AMERICAN CONGRESS ON SURVEYING AND MAPPING IN 1997 AND MEETS THE ACCURACY REQUIREMENTS FOR A CLASS SURVEY, AS DEFINED THEREIN, INCLUDING ITEMS 1, 2, 3, 4, 6, 7(A), 8, 9, 10 AND 11 FROM TABLE A OF THE REQUIREMENTS.

2. THE SURVEY WAS MADE ON THE GROUND ON MAY 25, 1999 BY ME OR UNDER MY SUPERVISION AND CORRECTLY SHOWS THE METES AND BOUNDS OR OTHER DESCRIPTION AND THE LAND AREA OF THE SUBJECT PROPERTY (THE "PROPERTY"), THE LOCATION, SIZE AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER SUBSTANTIAL VISIBLE IMPROVEMENTS (INCLUDING PARKING AREAS) SITUATED ON THE PROPERTY, INCLUDING ALL SETBACK LINES.

3. EXCEPT AS SHOWN ON THE SURVEY, THE BUILDINGS, STRUCTURES AND IMPROVEMENTS SHOWN CONSTITUTE ALL OF THE SUBSTANTIAL VISIBLE IMPROVEMENTS ON THE PROPERTY, ALL ARE WITHIN THE BOUNDARY LINES OF THE PROPERTY, AND ALL SUCH IMPROVEMENTS ARE SET BACK FROM THE PROPERTY AND SETBACK LINES THE DISTANCES INDICATED.

4. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO EASEMENTS OF RIGHTS-OF-WAY OBSERVABLE ON THE GROUND OR OF WHICH THE UNDERSIGNED HAS BEEN ADVISED.

5. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO OBSERVABLE ABOVE GROUND ENCROACHMENTS: (1) BY THE IMPROVEMENTS ON THE PROPERTY UPON ADJOINING PROPERTIES, STREETS, ALLEYS, EASEMENTS OR RIGHTS-OF-WAY, OR (2) BY THE IMPROVEMENTS ON ANY ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE PROPERTY.

6. THE LOCATION OF EACH EASEMENT, RIGHT-OF-WAY AND OTHER MATTER (ABOVE OR BELOW GROUND) AFFECTING THE PROPERTY AND LISTED IN THE COMMITMENT FOR OWNER'S POLICY OF TITLE INSURANCE G.F. NUMBER 9907504SP, DATED MAY 21, 1999, ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY WITH RESPECT TO THE PROPERTY (THE "COMMITMENT"), HAS BEEN SHOWN ON THE SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES TO THE EXTENT THAT SUCH MATTERS CAN BE LOCATED.

7. THE PROPERTY ABUTS A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY, AS SHOWN HEREIN.

8. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480130 0420 G, WITH A DATE OF IDENTIFICATION OF JANUARY 19, 1996, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED.

9. THE PROPERTY IS THE SAME PROPERTY DESCRIBED IN THE COMMITMENT.

10. THE PARKING SPACES ARE NOT STRIPED ON THE PROPERTY.

11. ONLY THE PARTIES ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.

DAVID L. DANSON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4672

DATED: 7-15-99

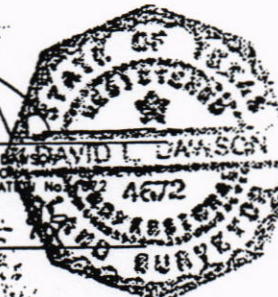


Exhibit "A"  
Page 8 of 25

AN ALTA/ACSM LAND TITLE SURVEY  
A PORTION OF  
LOT 2, BLOCK A, TEX  
COMMERCE BANK ADDITION

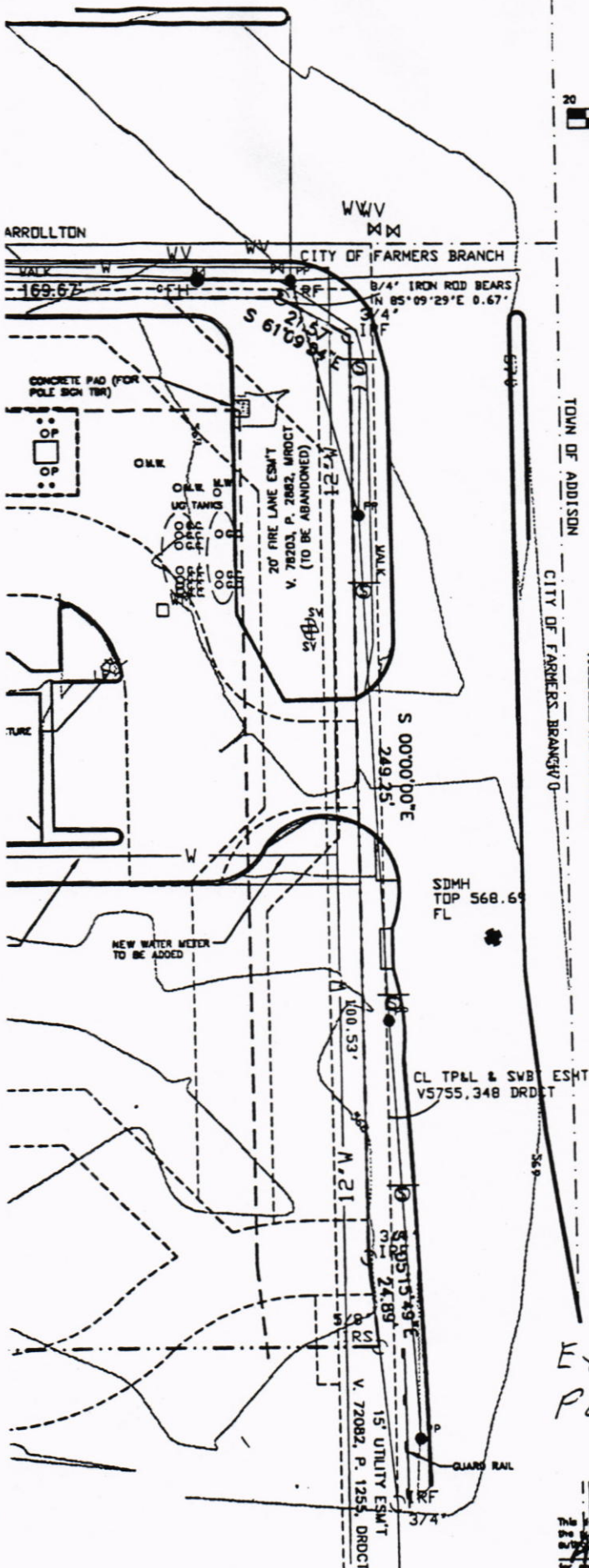
AN ADDITION TO THE CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS  
AS RECORDED IN VOLUME 95174, PAGE 4286, MAP RECORDS, DALLAS COUNTY, TEXAS  
SITUATED IN THE W.W. COOK SURVEY ABSTRACT NUMBER 278

3K









**LEGEND**

- OGC UG GAS TANK CAP
- OM.W. MONITORING WELL
- SIGN
- BOLLARD
- OP POST
- SDMH STORM DRAIN MANHOLE
- IRF IRON ROD FOUND
- CO SAN SEWER CLEANOUT
- POWER POLE
- WM WATER METER
- sv IRRIGATION VALVE
- LIGHT STANDARD
- FH FIRE HYDRANT
- GM GAS METER
- WV WATER VALVE
- PP OVERHEAD WRES
- UG TELEPHONE
- W WATER LINE
- SS SANITARY SEWER
- G GAS LINE

REVISION INFORMATION	
SHEET INFORMATION	

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**INTERPLAN PRACTICE**

Adopted Practice Set  
Standard  
Professional  
Seal  
No. 000000000

**CAR SPA**  
**BELT LINE ROAD/MARSH LANE**  
**FARMER'S BRANCH, TEXAS**

CAR SPA INC  
515 EAST LAS OLAS BOULEVARD, SUITE 1100  
FORT LAUDERDALE, FL 33301  
TEL (954)524-1910 FAX (954)524-1986

**EXISTING SITE PLAN**

Date	8/17/99	Job Number	0021
Scale	1" = 30'-0"	Drawn By	LDP



Exhibit "A"  
Page 10 of 25

This document is incomplete and is released for the purpose of interim review only under the authority of the American Society of Professional Engineers. It is not to be used for construction, bidding, or permit purposes.

C-1

3M



## VARIABLE WIDTH R.O.W

1. DITCHING INFORMATION SYSTEM MAY BE PRESENT ON THE SITE. IF PRESENT, IRRIGATION CONTRACTOR TO REVEAL SYSTEM AND DETERMINE IF IT MEETS OR EXCEEDS CURRENT REQUIREMENTS AND IF SO, DETERMINE IF IT CAN BE UTILIZED WITH THE NEW IRRIGATION SYSTEM.

2. SHEDDING BRICK, STEEL, BODING, AND SHIPS MATERIAL TO BE REMOVED FROM THE SITE.

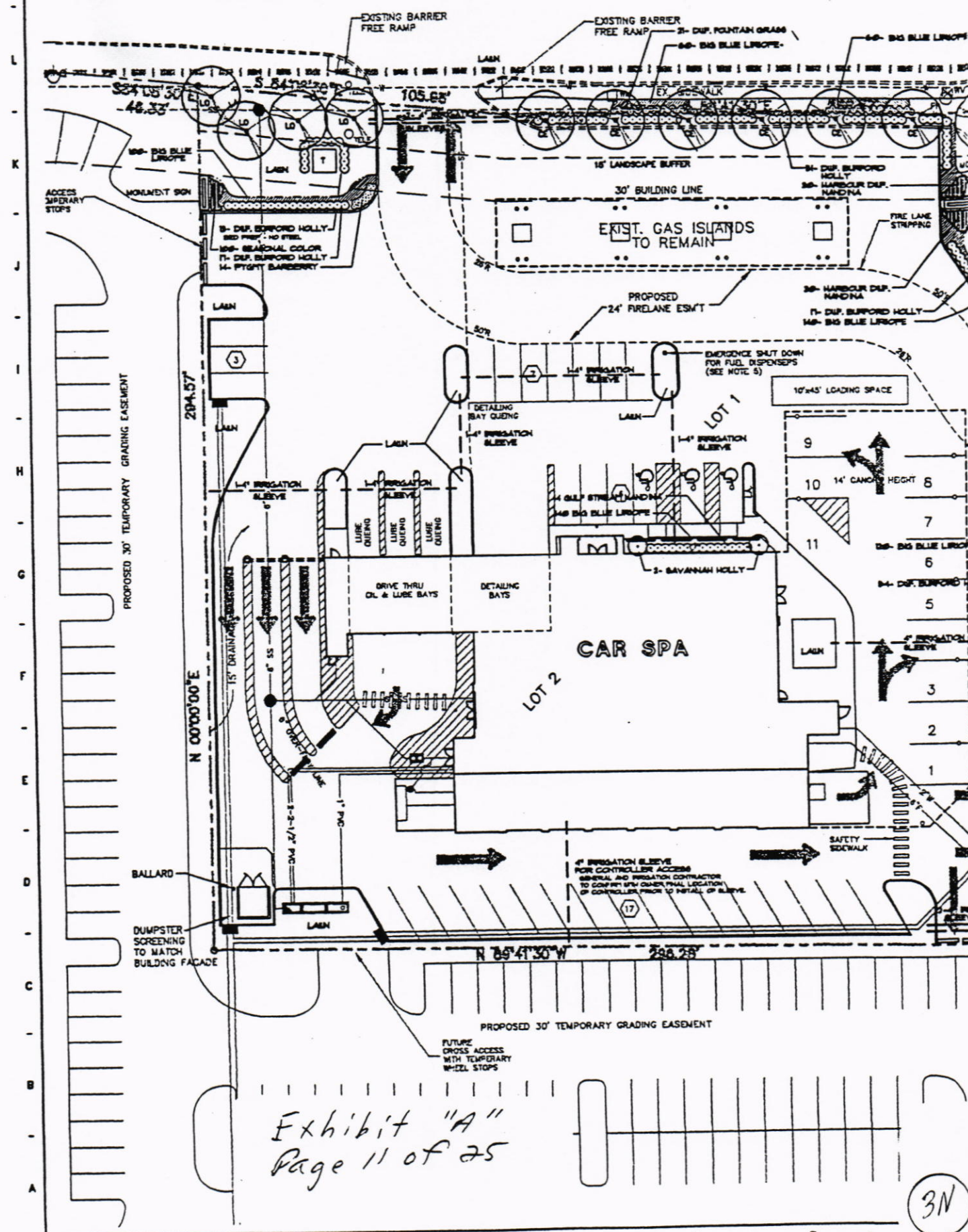


Exhibit "A"  
Page 11 of 25

 $3N$







## IRRIGATION NOTES (MINIMUM REQUIREMENTS)

1. FIELD VERIFY DIMENSIONS AND STATIC WATER PRESSURE BEFORE TRENCHING.
2. IN NO CASE SHALL PVC MAIN OR LATERAL LINES BE INSTALLED OUTSIDE OF THE PROPERTY AND/OR PROJECT LINES. ADJUST HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE.
3. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED TO INSTALL THE IRRIGATION SYSTEM.
4. ALL UNDERPAYING SLEEVING SHALL BE SCHEDULE 40 PVC AND IS TO BE ACCESSIBLE AND FREE OF OBSTRUCTION. SLEEVING SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL SLEEVES SHALL BE SIZED AS INDICATED OR TWICE THE DIAMETER OF THE PIPE ENCLOSED, WHICHEVER IS GREATER.
5. ALL UNDERPAYING SLEEVING SHALL EXTEND 12" BEYOND BACK OF CURB AND NO LOWER THAN 18" DEEP. GENERAL CONTRACTOR SHALL HAVE ALL SLEEVING END LOCATIONS FLAGGED ABOVE GRADE.
6. ALL SPRINKLER HEADS SHALL BE PERPENDICULAR AND EVEN WITH FINISHED GRADES. ALL SPRINKLER HEADS SHALL BE INSTALLED A MINIMUM OF THREE INCHES (3") FROM THE BACK OF CURB OR SIDEWALKS AND DRIVEWAYS.
7. SET ALL CONTROL, QUICK COUPLER AND DOUBLE CHECK BOXES LEVEL AND EVEN WITH FINISHED GRADES.
8. VALVE WIRE SHALL BE #4 GA. UL-VF SINGLE, DIRECT BURIAL COPPER. SPLICES SHALL ONLY OCCUR IN VALVE BOXES. COIL WIRE EVERY 100' FOR EXPANSION AND CONTRACTION PURPOSES. KING BRAND WIRE CONNECTORS SHALL BE USED FOR ALL WIRE SPLICES.
9. THE IRRIGATION CONTRACTOR IS REQUIRED TO MAINTAIN COMPLETE AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM AT ALL TIMES. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR IS TO SUPPLY THE OWNER WITH A COMPLETE SET OF DRAWINGS SHOWING THE EXACT LOCATION OF ALL CONTROL VALVES, QUICK COUPLER VALVES, DOUBLE CHECK ASSEMBLIES AND CONTROLLER.
10. THE IRRIGATION CONTRACTOR IS TO MAKE HIMSELF FAMILIAR WITH ALL JOBSITE CONDITIONS BY VISITING THE SITE PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM.
11. ALL PIPE SHALL HAVE A MINIMUM OF TWELVE INCHES (12") OF COVER. ALL PIPE SHALL BE PRIMERED BEFORE GLUING.
12. IRRIGATION CONTRACTOR TO VERIFY WITH OWNER LOCATION OF CONTROLLER.
13. IRRIGATION CONTRACTOR TO INSTALL:
  - MINI CLICK II RAIN SENSOR
  - MINI CLICK FREEZE SENSOR
14. IRRIGATION CONTRACTOR TO REVIEW CITY OF PLANO IRRIGATION STANDARDS AND CIVIL DETAIL SHEETS PRIOR TO BEGINNING OF INSTALLATION.

Exhibit A"  
Page 13 of 25



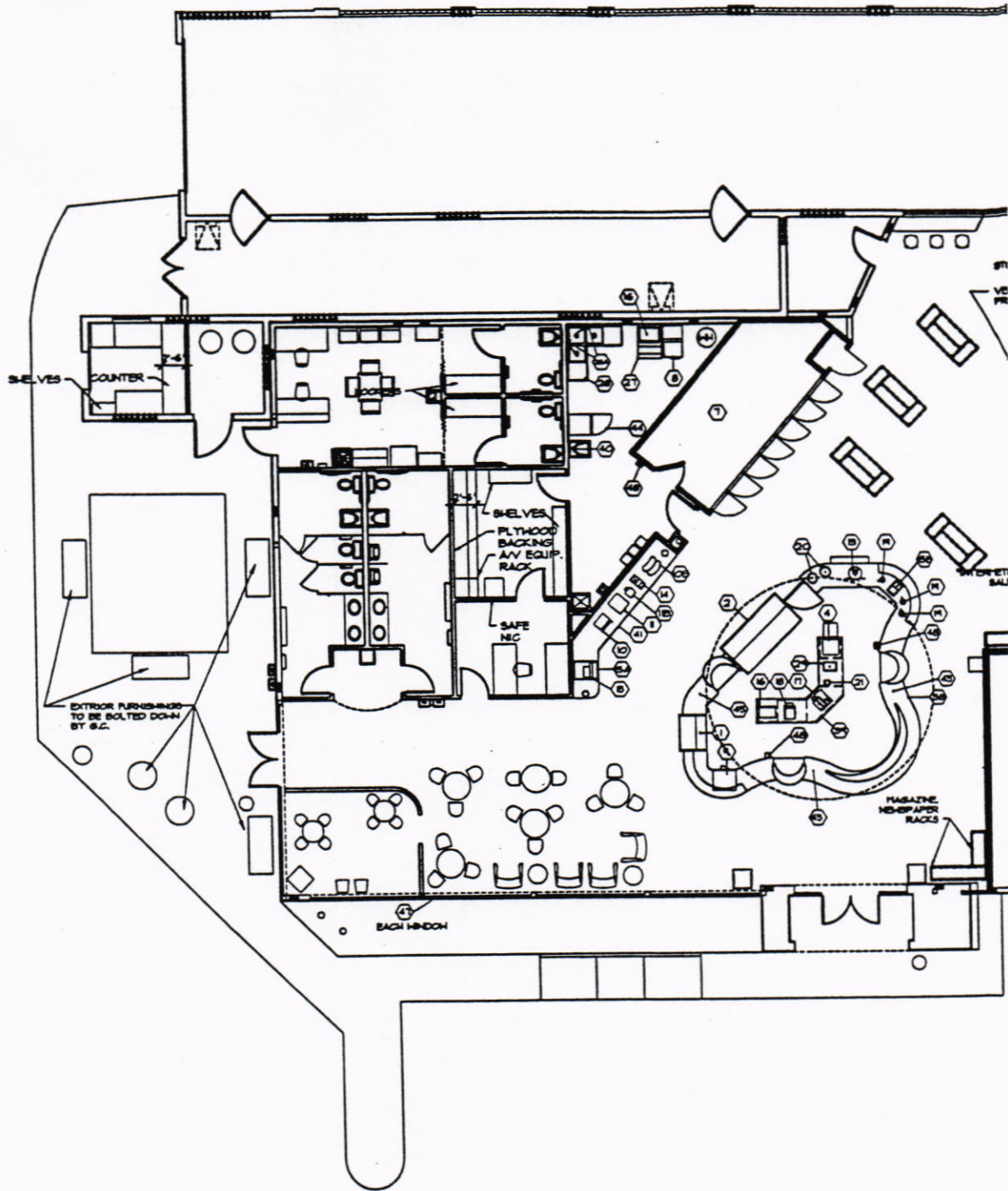


Exhibit "A"  
Page 14 of 25

A1	STORE EQUIPMENT PLAN
1/8" = 1'-0"	

30



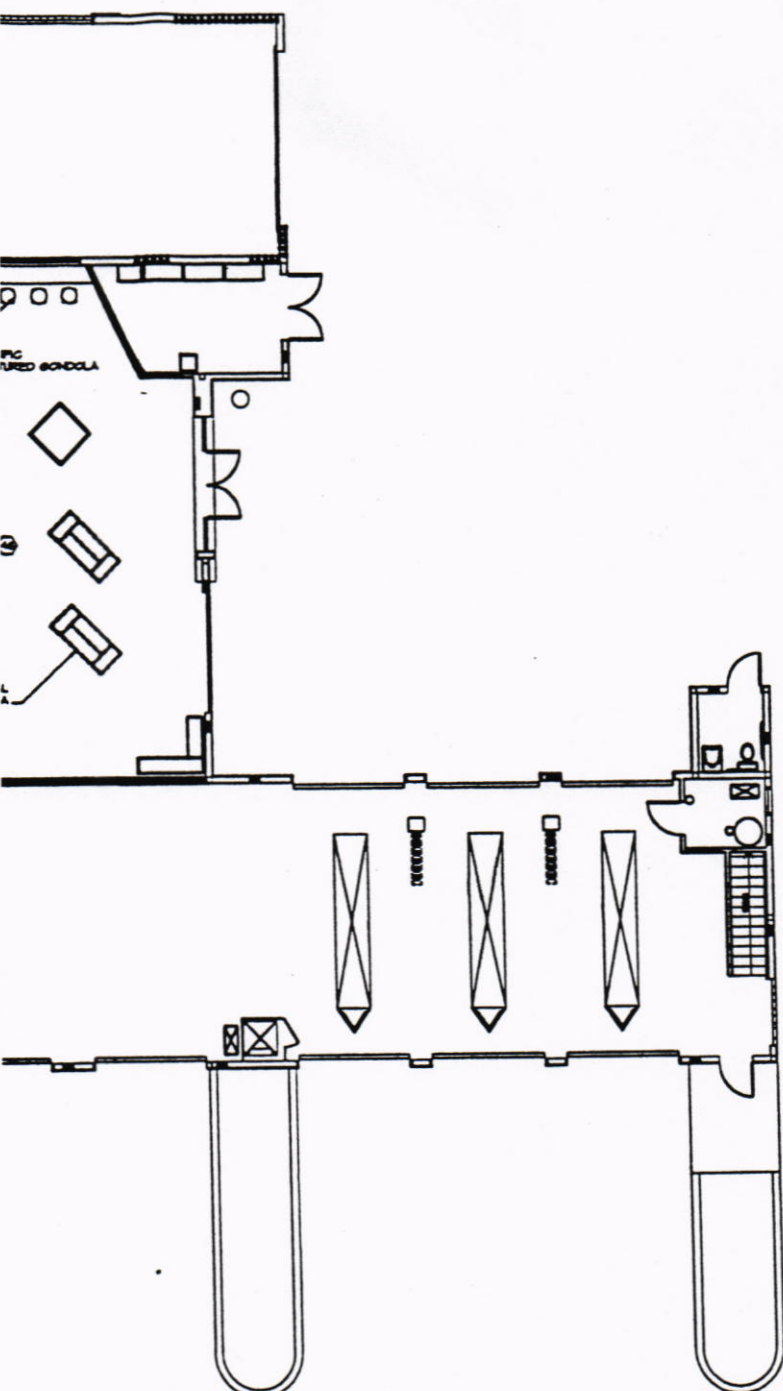
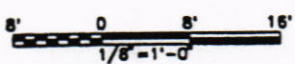


Exhibit "A"  
Page 15 of 25



KEYING LEGEND & GENERAL NOTES	
BREAK ROOM	491 SQ FOOT
CAR WASH AREA	2650 SQ FOOT
EXPRESS DETAIL	741 SQ FOOT
EQUIPMENT ROOM	486 SQ FOOT
LAUNDRY ROOM	88 SQ FOOT
LUBE AREA	2650 SQ FOOT
STORAGE	864 SQ FOOT
VACUUM ROOM	105 SQ FOOT
NON-CUSTOMER AREAS	8601 SQ FOOT
CARP	438 SQ FOOT
CUSTOMER RESTROOMS	504 SQ FOOT
RETAIL	2733 SQ FOOT
WAITING AREA	194 SQ FOOT
CUSTOMER AREAS	4544 SQ FOOT
<b>TOTAL BUILDING</b>	<b>5306 SQ FOOT</b>

REVISION INFORMATION	
DATE	DESCRIPTION

ISSUE INFORMATION	
DATE	DESCRIPTION

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF CAR SPA, INC. IS STRICTLY PROHIBITED.

<b>INTERPLAN PRACTICE</b> 10000 N. 15th Ave., Suite 100 Fort Lauderdale, FL 33301 TEL: (954) 524-1910 FAX: (954) 524-1966	Attention: President, Inc. 10000 N. 15th Ave., Suite 100 Fort Lauderdale, FL 33301 TEL: (954) 524-1910 FAX: (954) 524-1966
--	---

car spa INC  
 515 EAST LAS OLAS BOULEVARD, SUITE 1100  
 FORT LAUDERDALE, FL 33301  
 TEL: (954) 524-1910 FAX: (954) 524-1966

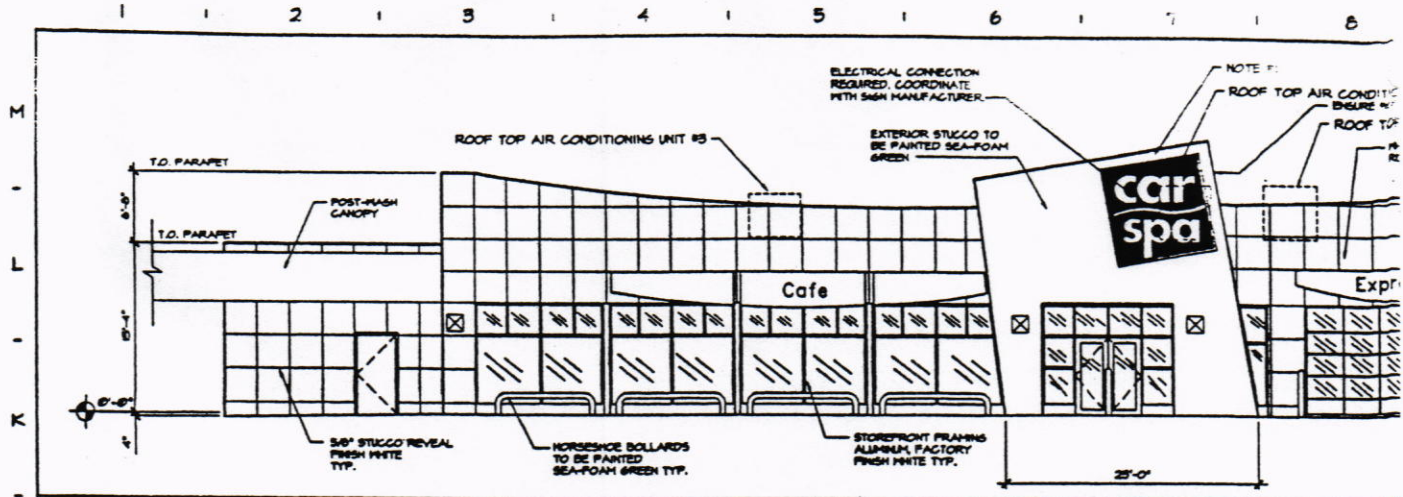
**STORE EQUIPMENT LAYOUT**

Date: _____ Drawn By: _____ Check By: _____ HCH	Job Number: _____ FF100 _____
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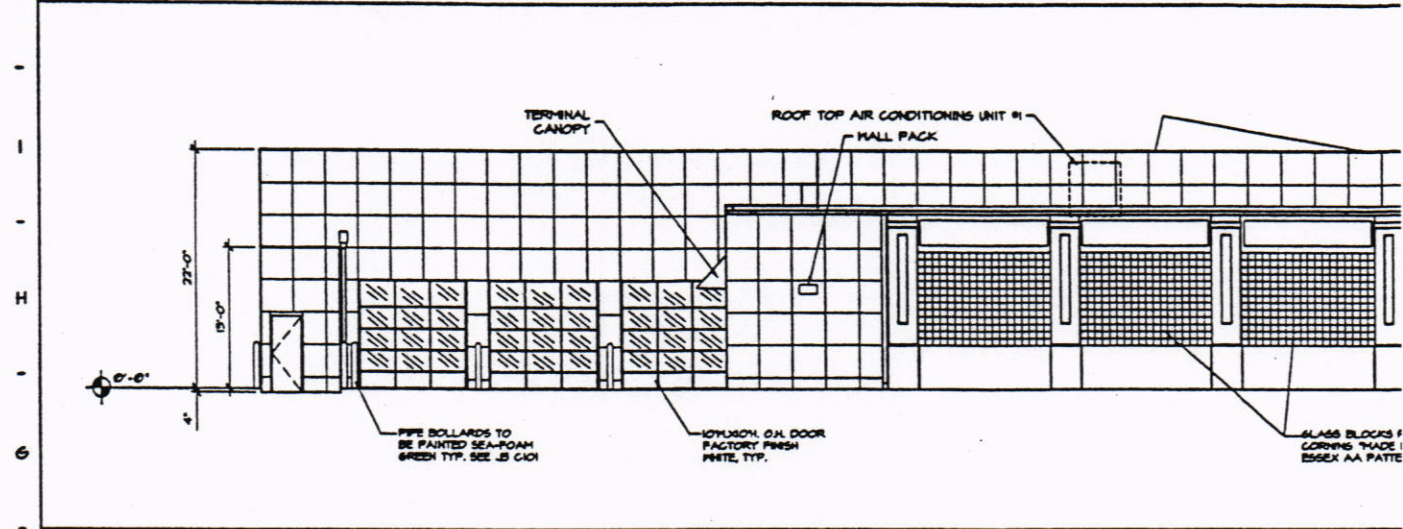
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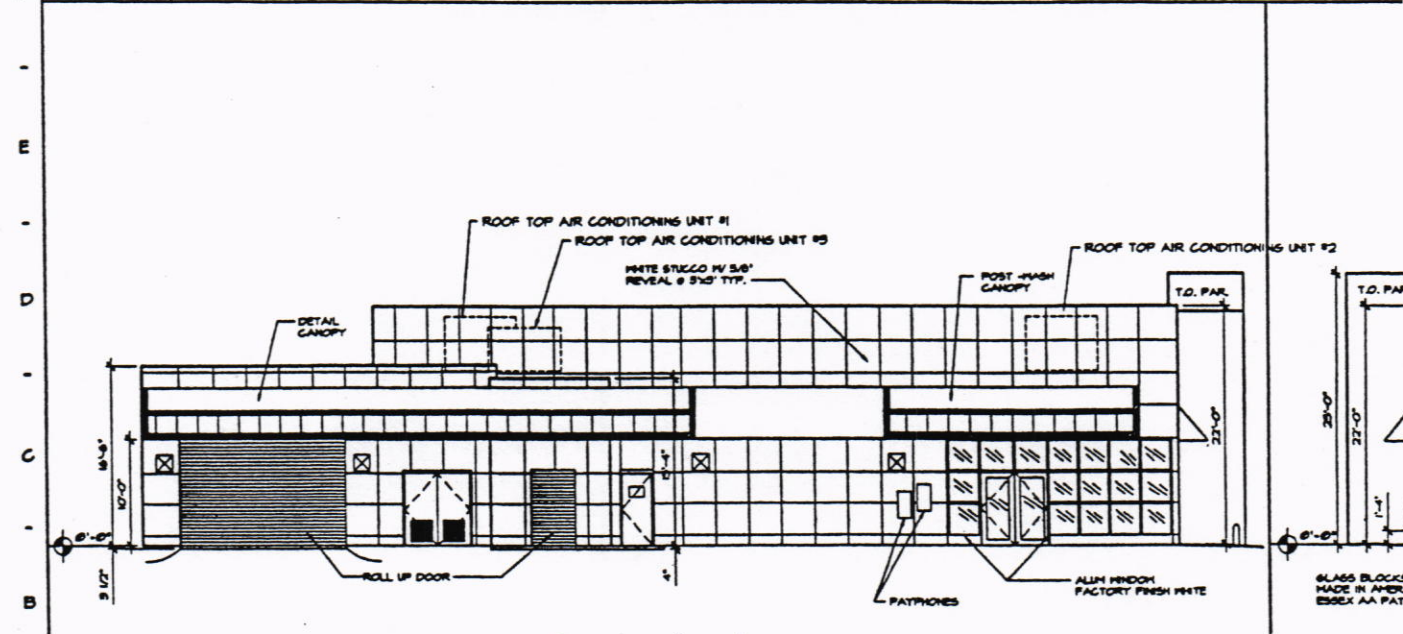




JI	NORTH ELEVATION
1/8"=1'-0"	



FI	SOUTH ELEVATION
1/8"=1'-0"	



AI	EAST ELEVATION
1/8"=1'-0"	

Exhibit "A"  
Page 16 of 25

35



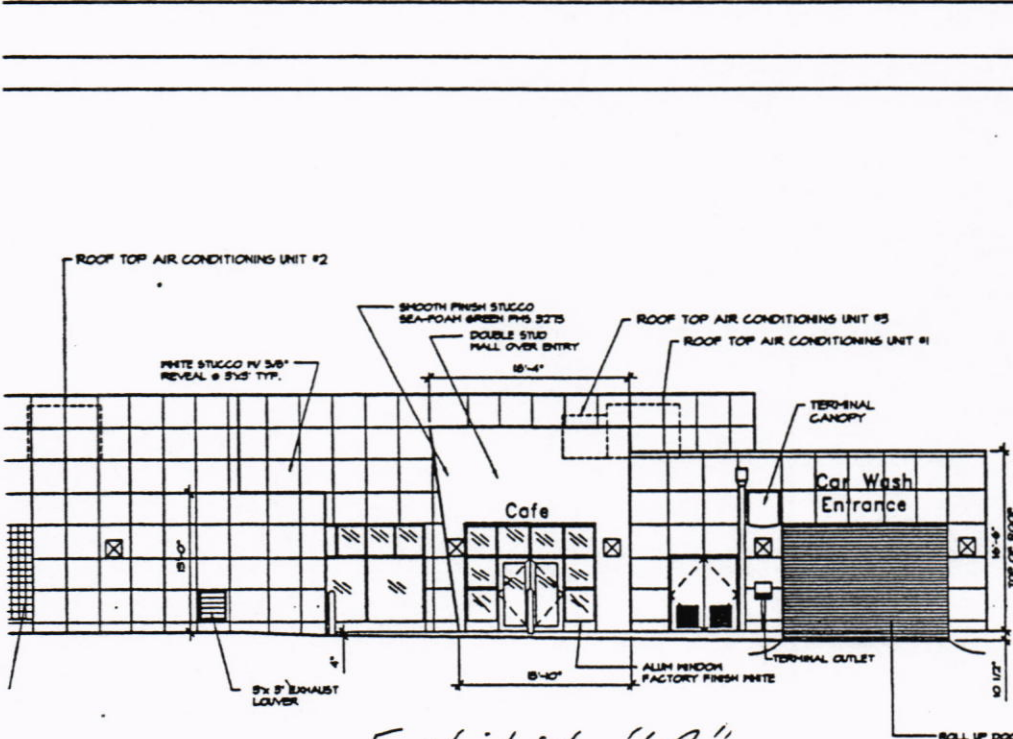
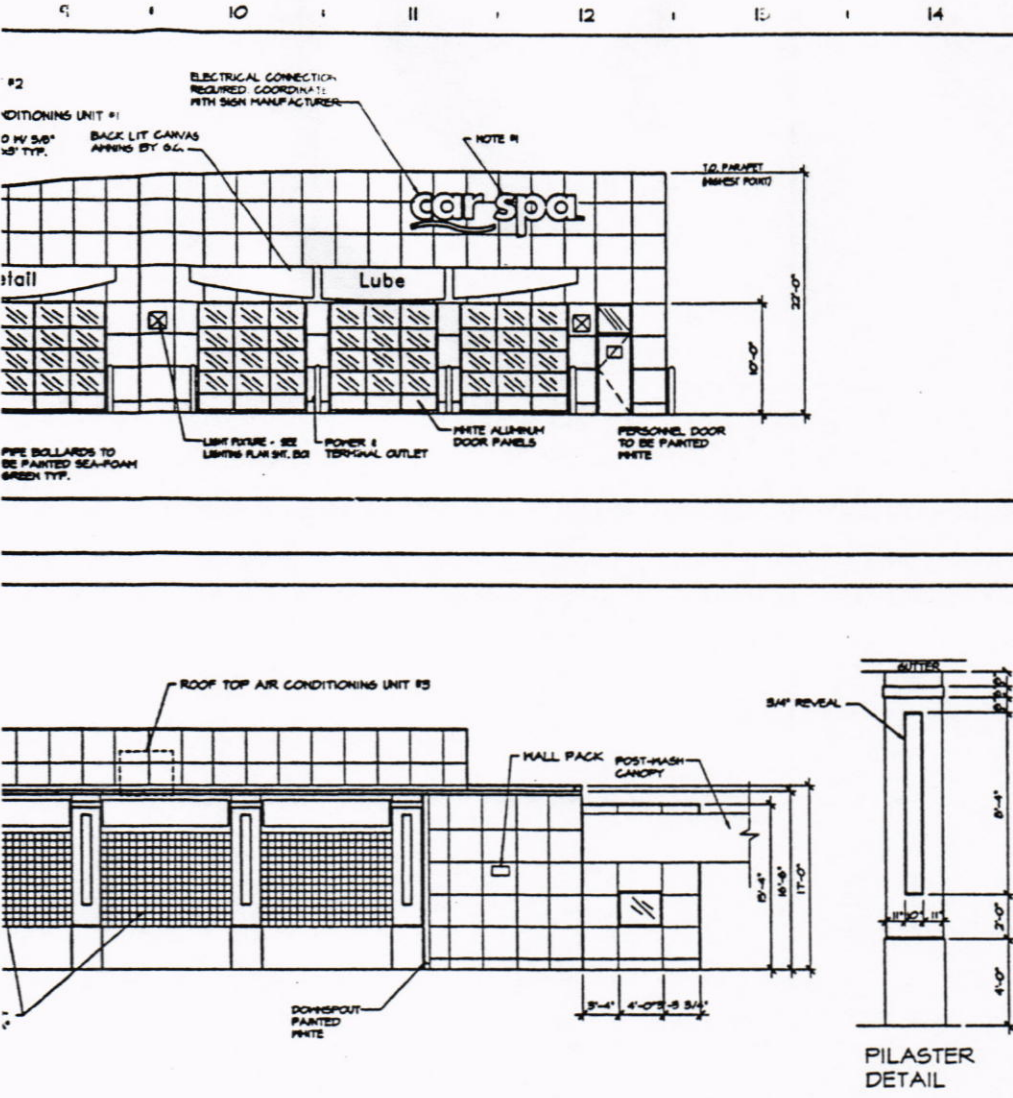
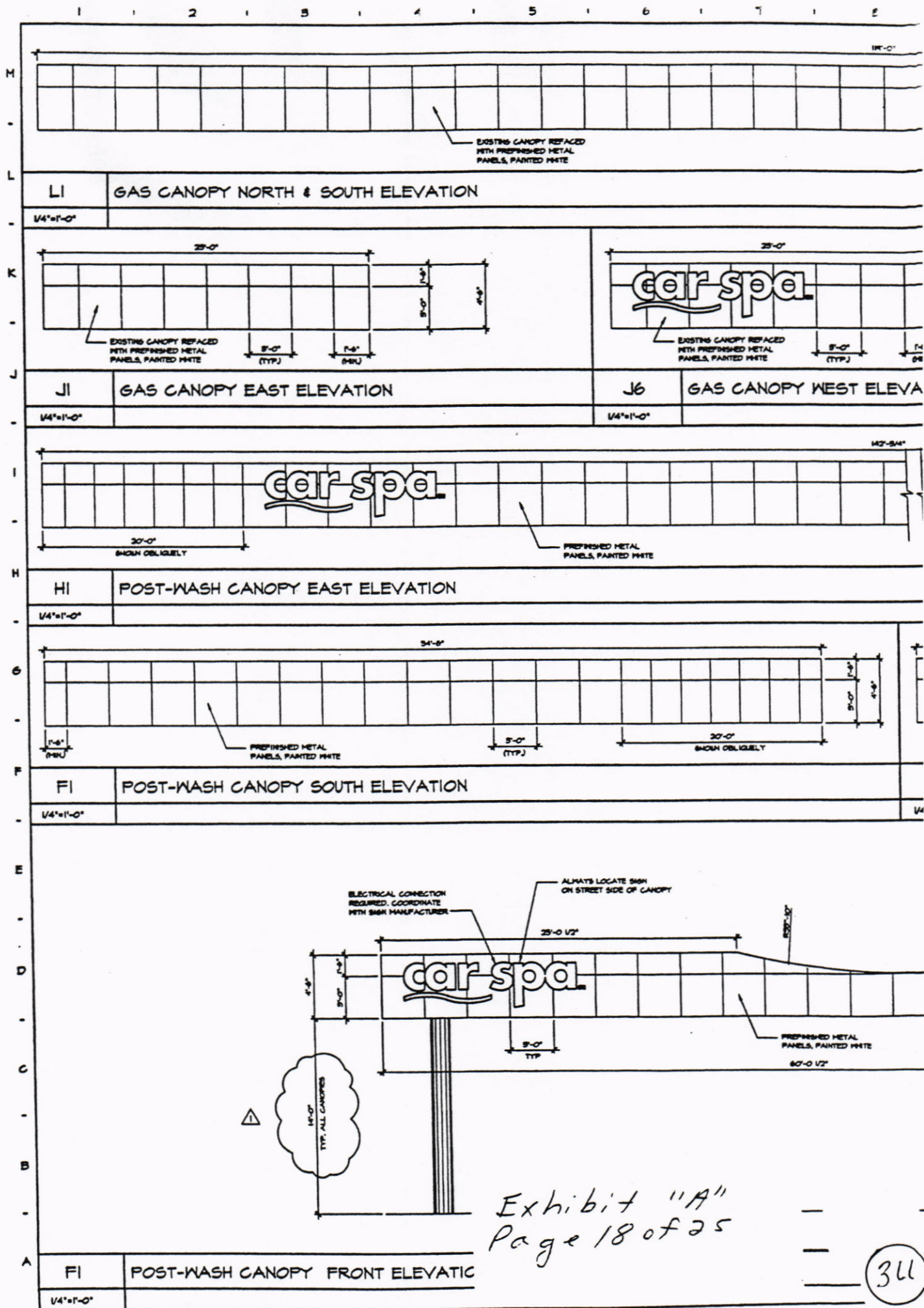


Exhibit "A"  
Page 17 of 25

ELEVATION

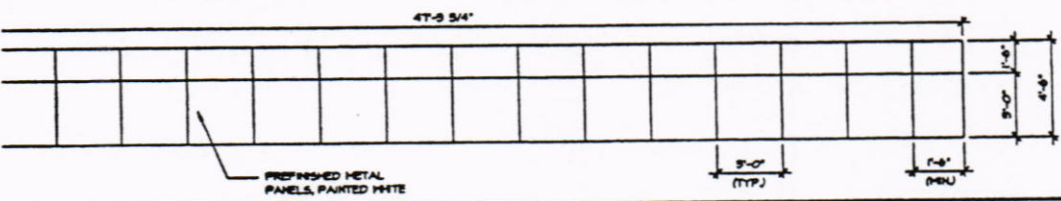
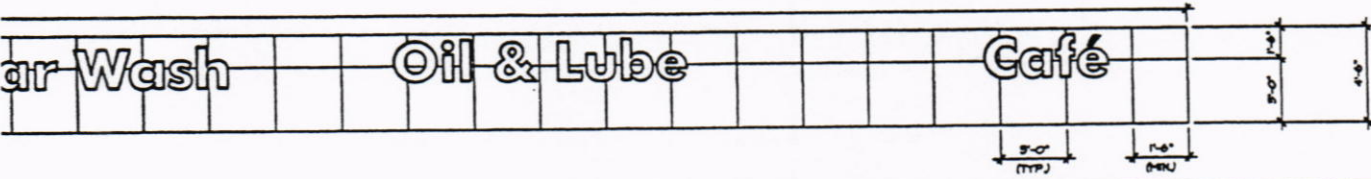
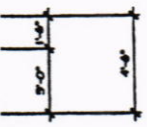
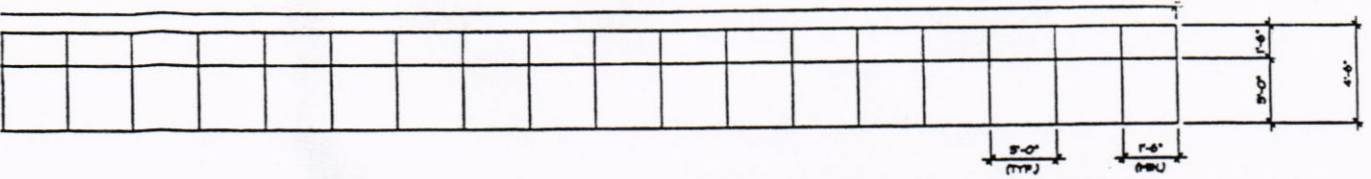
KEYING LEGEND & GENERAL NOTE																								
<p><b>NOTES:</b></p> <p>1. GRAPHICS DEPICTED ARE NOMINAL. SEE SHEET 56300 FOR SPECIFIC INFORMATION.</p> <p>2. SEE SHEET A13 FOR SPACING OF STUCCO REVEALS.</p>																								
<p><b>REVISION INFORMATION</b></p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>			DATE	DESCRIPTION																				
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<p>THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF CAR SPA, INC. IS STRICTLY PROHIBITED.</p>																								
<p><b>INTERPLAN PRACTICE</b></p> <p>Adopted: November 2001            Drafting: November 2001            Design: November 2001</p>	<p>100 Air Road, Suite 100            Orlando, Florida 32815            Telephone: (407) 244-0000            Fax: (407) 244-0001</p>																							
<p>Client: Info 1 Job Address:</p> <p><b>CAR SPA</b>            BELT LINE ROAD/MARSH LANE            FARMER'S BRANCH, TEXAS</p>																								
<p><b>car spa</b> INC            515 EAST LAS OLAS BOULEVARD, SUITE 1100            FORT LAUDERDALE, FL 33301            TEL: (954) 524-1910, FAX: (954) 524-1966</p>																								
<p><b>EXTERIOR ELEVATION</b></p>																								
<p>Scale:</p> <p>7-12-99</p> <p>1/8" = 1'-0"</p> <p>Drawn By:</p> <p>JDB</p> <p>Checked By:</p> <p>MDH</p>	<p>Job Number:</p> <p>6</p>	<p>A103</p> <p>3T</p>																						







KEYING LEGEND & GENERAL NOTES



POST-WASH CANOPY WEST ELEVATION

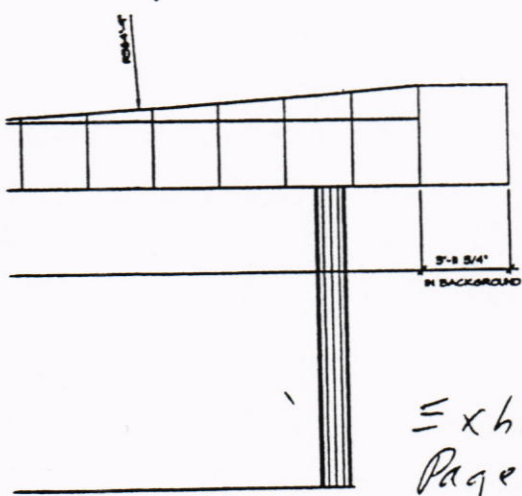


Exhibit "A"  
Page 19 of 25

REVISION INFORMATION	
6-5-14	REV. PER CITY OF FARMERS BRANCH
DATE	DESCRIPTION

ISSUE INFORMATION	

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<b>INTERPLAN PRACTICE</b>	Accepted: Project Job Engineered: Inspected: Date Per: 05-20-14
All for Steel, Steel, etc. Branch, Florida, 33301 Tel: (954) 524-1910 Fax: (954) 524-1986	

Client Name & Job Address:

**CAR SPA**  
BELT LINE ROAD/MARSH LANE  
FARMER'S BRANCH, TEXAS

**CAR SPA INC**  
515 EAST LAS OLAS BOULEVARD, SUITE 1100  
FORT LAUDERDALE, FL 33301  
TEL. (954) 524-1910, FAX (954) 524-1986



ANOPY ELEVATIC

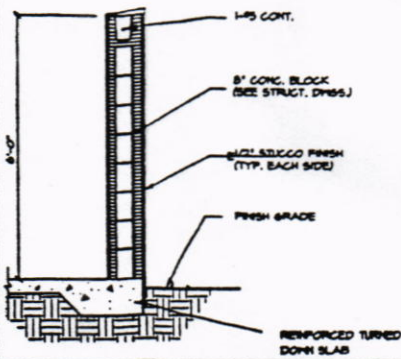
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Job Number	96
Scale	
Drawn By	
Checked By	HDH

AC20 (3V)



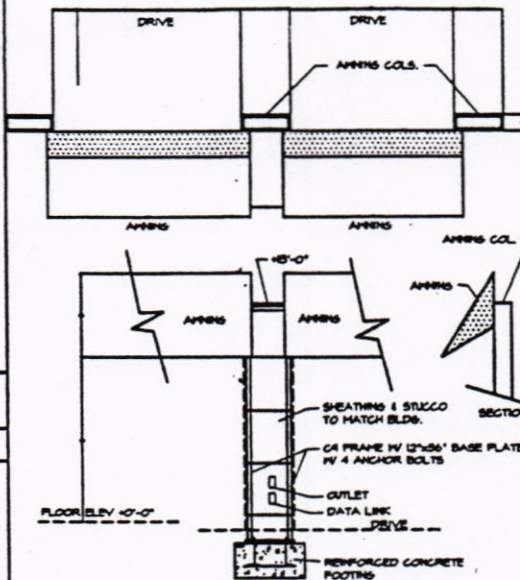






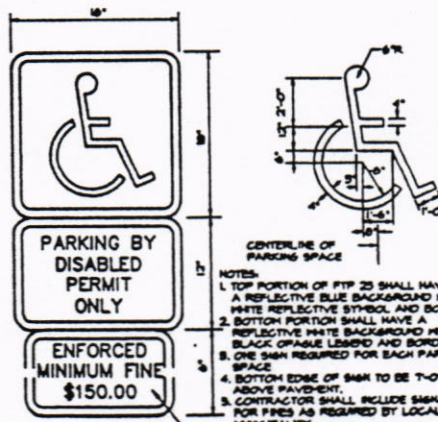
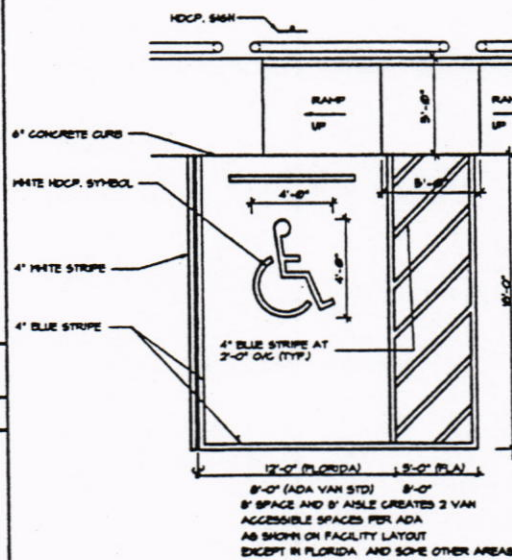
J9 DUMPSTER DETAIL

1/2" = 1'-0"



19 AWNING COLUMNS

5/16" = 1'-0"



A12 HANDICAP ACCESS DETAILS

K.T.S

KEYING LEGEND & GENERAL NOTE

REVISION INFORMATION

DATE DESCRIPTION

ISSUE INFORMATION

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INTERPLAN PRACTICES

Sample Project List  
Engineering  
Autodesk  
3D-Modeling

201 for 2002 AutoCAD  
Autodesk, Inc.  
Autodesk, Inc.  
For 2002-2003

Client Info & Job Address

CAR SPA  
BELT LINE ROAD/MARSH LANE  
FARMER'S BRANCH, TEXAS

car spa

CAR SPA INC  
515 EAST LAS OLAS BOULEVARD, SUITE 1100  
FORT LAUDERDALE, FL 33301  
TEL. (954)524-1910, FAX (954)524-1988

Sheet Title

FACILITY LAYOUT DET

Date

7-12-99

Job Number

99:

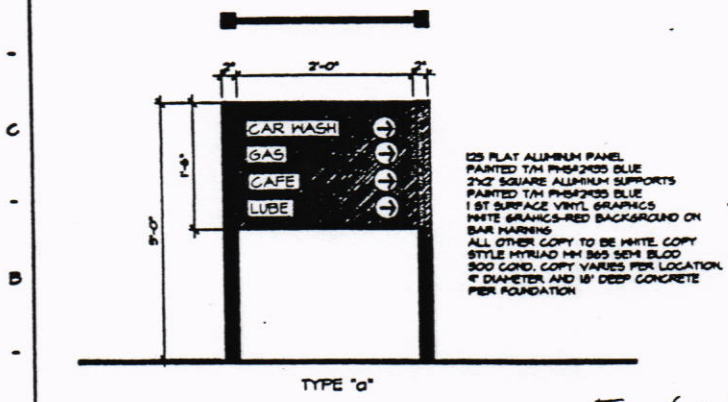
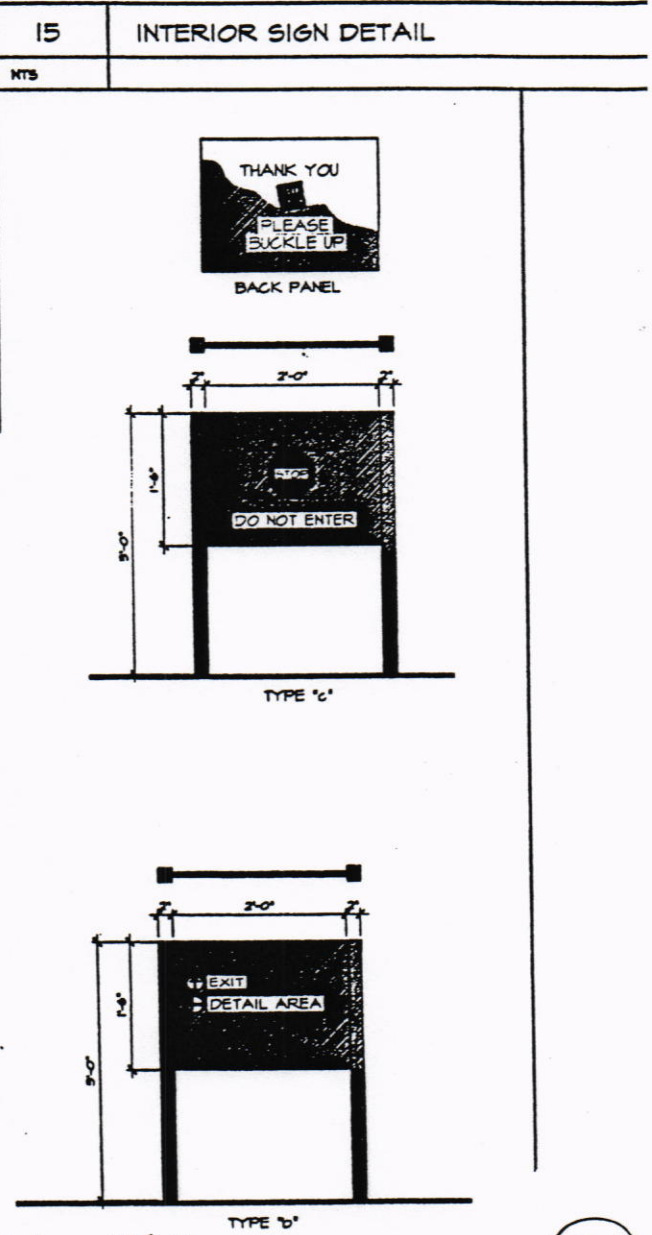
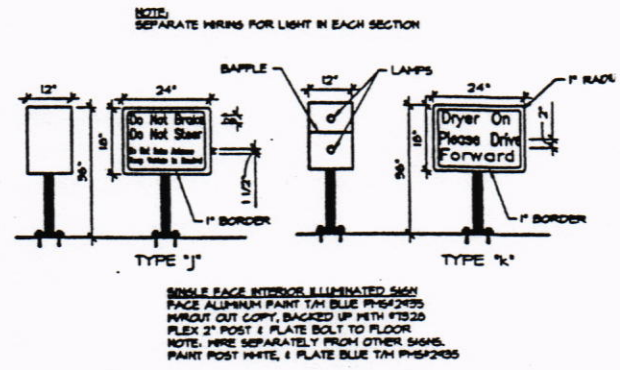
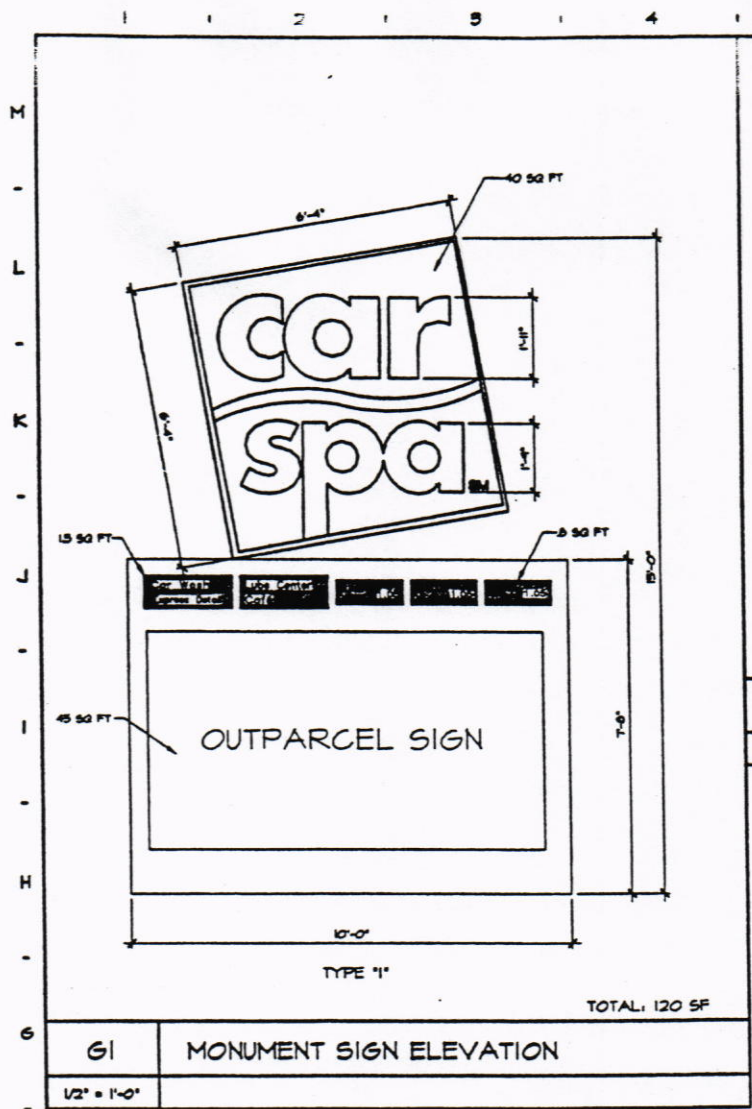
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Checked By

CK 3X

Exhibit "A"  
Page 21 of 25





AI	SINGLE FACE ELEVATIONS
NTS	

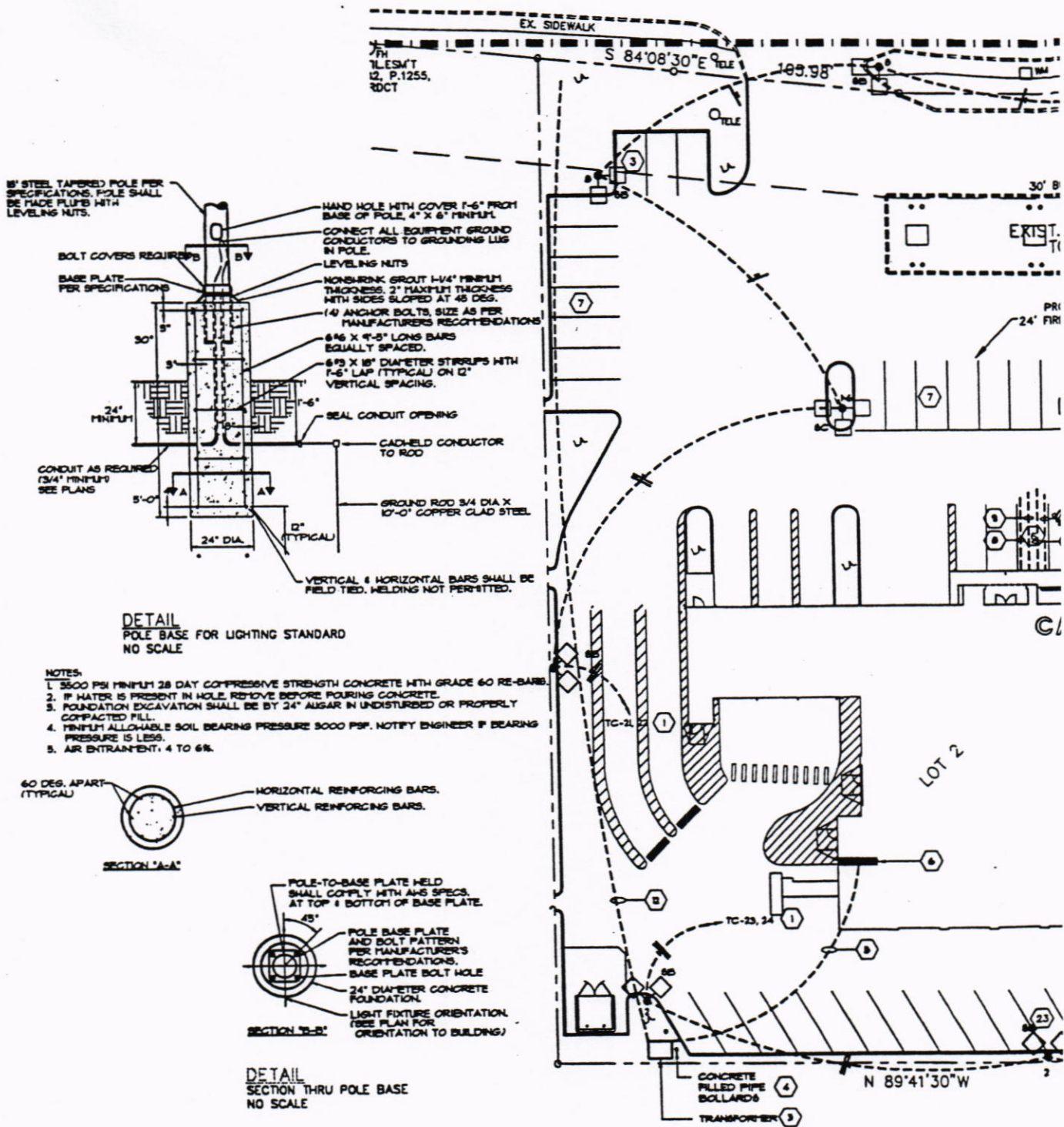
Exhibit "A"  
Page 22 of 25





# BELTLINE F

VARIABLE WIDTH R.O.



REMAINDER L

3AA

SEI	SITE ELECTRICAL PLAN
1"=20'-0"	

Exhibit "A"  
Page 24 of 25

